



TUSCALOOSA
PLANNING COMMISSION

SUBDIVISION SUBMISSION CHECKLIST

Please complete all of the following required fields:

Subdivision: Newton Lane Parcel ID: 31-06-23-2-016-006.000 Total Acres: 1.22

Surveyor or Engineer

Name: Al Cabaniss, PE, PLS Email: acabaniss@cabanisseng.com Phone: 205.758.9032
Address: PO Box 020440 City/State: Tuscaloosa / AL ZIP Code: 35402

Property Owner

Name: VEP, LLC Email: lesliekincaid@icloud.com Phone: 205.826.7400
Address: PO Box 536 City/State: Eutaw / AL ZIP Code: 35462

Applicants MUST include ALL of the following documentation with the submission of this checklist:

6 Plats MAP FOLDED to 8 1/2" x 11"	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Digital copy of Plat (with & without contours)	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Pre-design conference (if so, list date)	<input checked="" type="checkbox"/> YES _____	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Master Plan provided	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
Drainage study	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
Variance request letter	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Designation of Agent form	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Vicinity & Tax maps at 8 1/2" X 11" scale	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
3 Labels (name & address) for the applicant, the property owner, and each adjacent property owner (1" x 2 5/8" clear & self-adhesive)	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A

Certification of Applicant

NOTE: AFTER THE MAILING OF ANY NOTIFICATION TO SURROUNDING PROPERTY OWNERS, A PETITIONER OR DEVELOPER MAY ONLY REQUEST TO HAVE THE SCHEDULED HEARING ON THE PETITION POSTPONED BY APPEARING AT THE HEARING IN PERSON TO REQUEST A CONTINUANCE.

☐ I HAVE REVIEWED, COMPLETED, & AGREE TO ALL SUBMITTAL REQUIREMENTS AS PART OF THIS APPLICATION. ADDITIONALLY, I WARRANT IN GOOD FAITH THAT ALL OF THE ABOVE FACTS ARE TRUE AND CORRECT.

Signature: _____ Date: 3-19-21

**PLEASE SUBMIT AN ELECTRONIC COPY OF THIS DOCUMENT
AND ALL NECESSARY SUPPORTING MATERIALS TO:**

Office of Urban Development:
Planning Division

2201 University Boulevard, Annex III, 3rd Fl
Tuscaloosa, AL 35401

planningcommission@tuscaloosa.com

SUBMIT FORM



Vicinity Map Newton Lane N.T.S.

JOB NO: 20-09-019	DATE: 03/16/2021
DATE OF SURVEY: 11/05/2020	SOURCE OF TITLE: N/A
FB/PG: FILE	SCALE: NTS
FILE NAME: 2009019.DWG	DWN/CHK BY: THS/AJC

CABANISS ENGINEERING, INC.

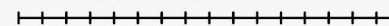
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
COURT HOUSE PLAZA 600 LURLEEN WALLACE BLVD. SOUTH, SUITE 140
P.O. BOX 020440 TUSCALOOSA, ALABAMA 35402 (205) 758-9032



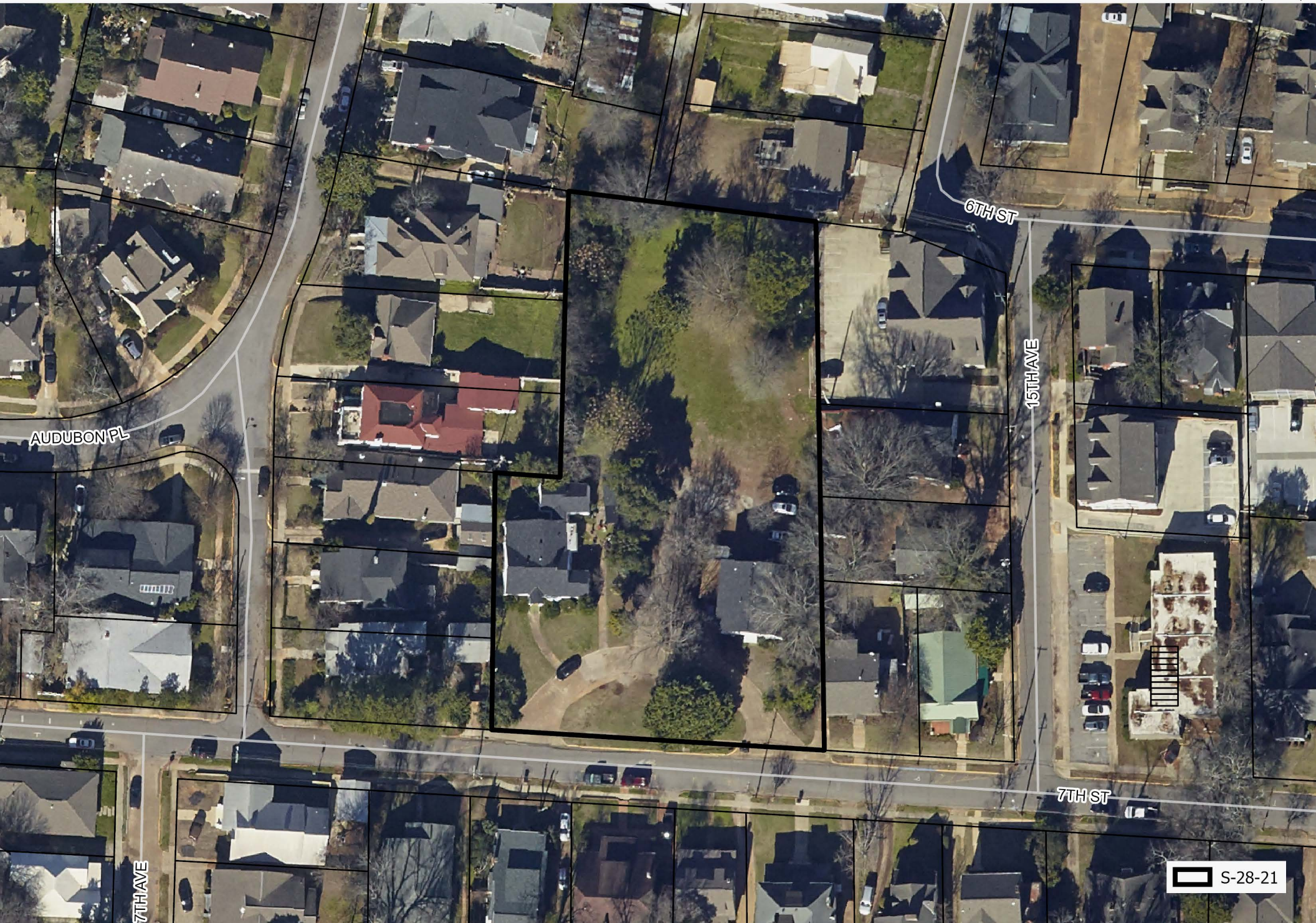
S-28-21: Newton Lane

1 inch = 70 feet

0 35 70 105 140



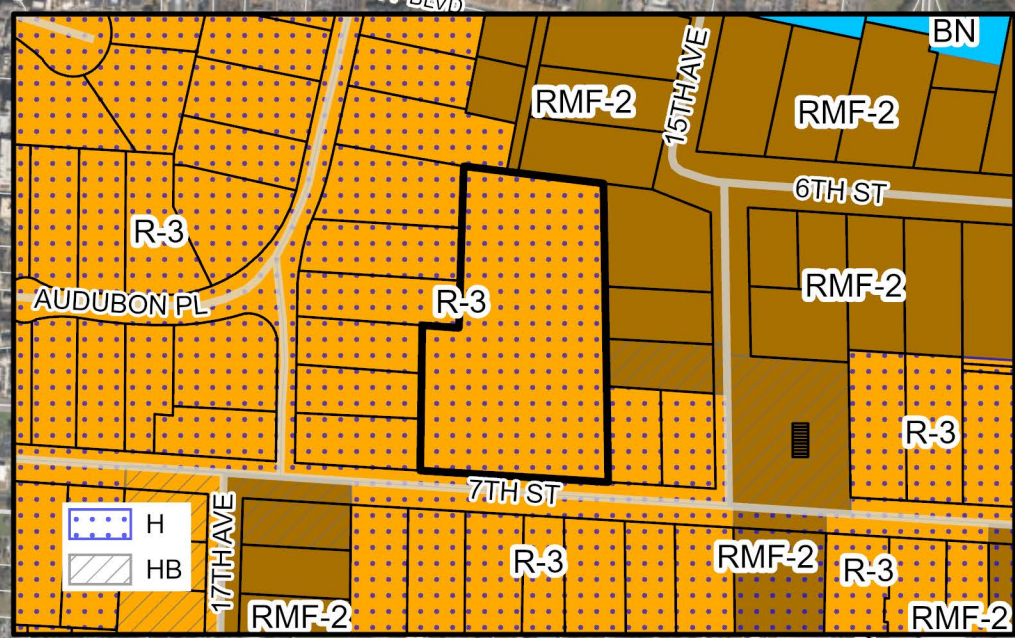
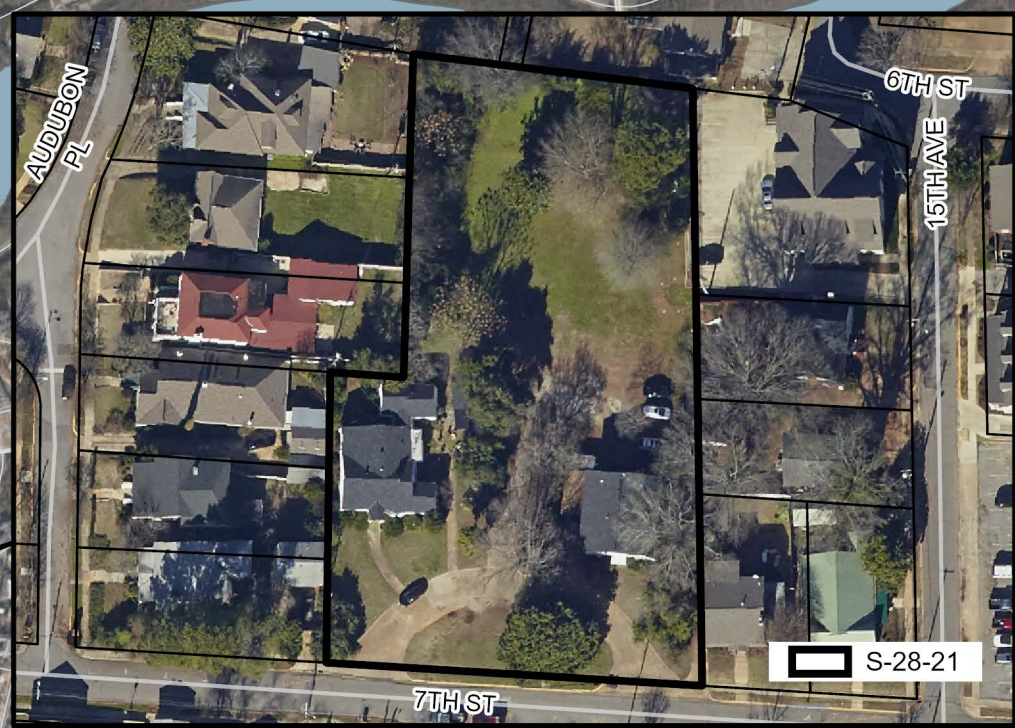
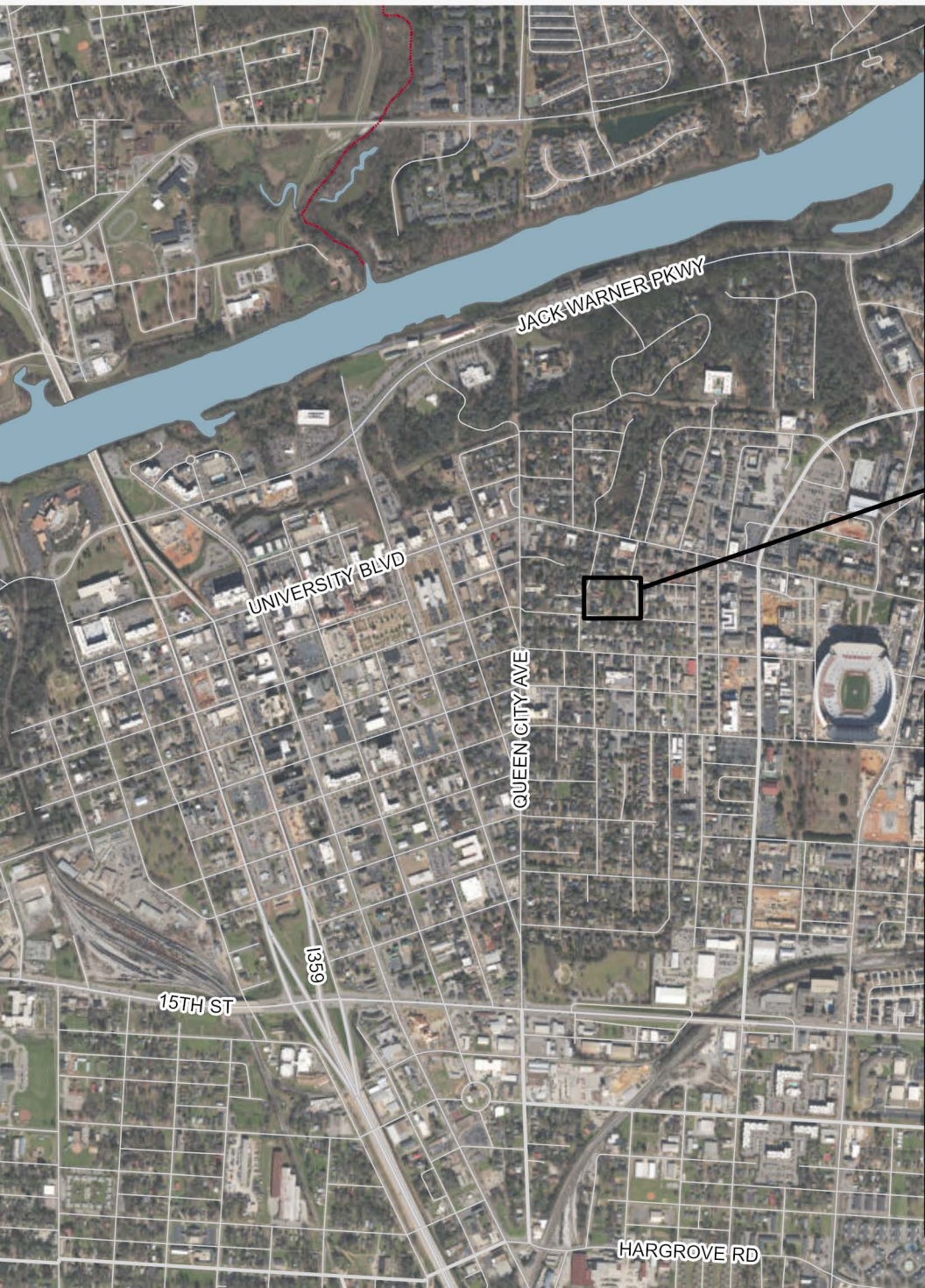
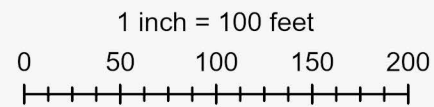
N



S-28-21



S-28-21: Newton Lane



Owner:
VEP, LLC
PO Box 536
Eutaw, AL 35462

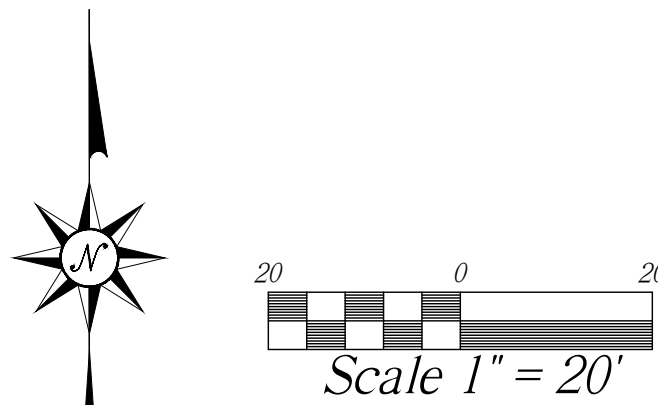
Developer:
CBA Properties, LLC
914 Queen City Avenue, Suite B
Tuscaloosa, AL 35401

Engineer/Land Surveyor:
Al Cabaniss, PE, PLS
Cabaniss Engineering, Inc.
PO Box 020440
Tuscaloosa, AL 35402

Property Address: 1516 7th Street

Zoning: R3-H

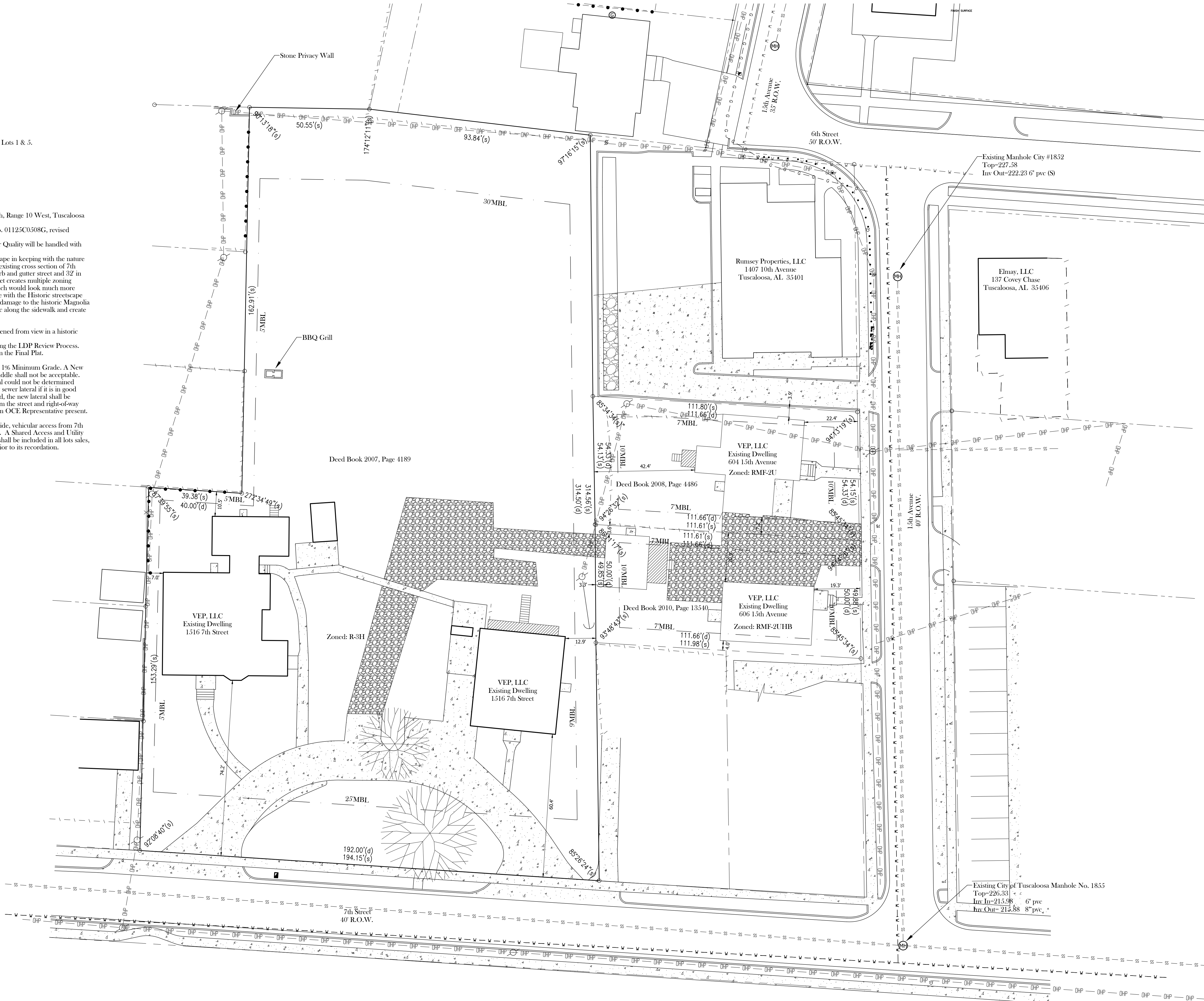
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 - Proposed Three (3) Single Family Dwellings.
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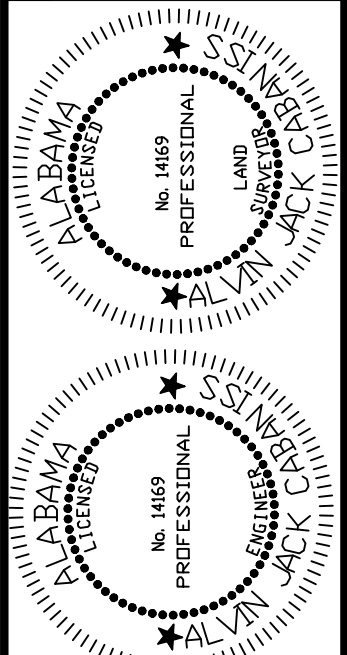
LEGEND

- | | |
|---------------------------------|------------------------|
| ○ IRON PIN FOUND(SIZE) | (s) SURVEY DIMENSION |
| ● 1/2" IRON PIN SET | (p) PLAT DIMENSION |
| ▭ CONCRETE | (d) DEED DIMENSION |
| ○ UTILITY POLE | DB DEED BOOK |
| ○ UTILITY POLE W/ GUY | PB PLAT BOOK |
| ○ LIGHT POLE | Pp PAGE |
| — BREAK LINE | ROW RIGHT-OF-WAY |
| ○ CONCRETE MONUMENT FOUND | MBL MINIMUM BLDG LINE |
| — WOODEN FENCE | — CHAIN LINK FENCE |
| — OTHER FENCE | △ POINT NOT MONUMENTED |
| — eg 100.00 EXISTING GRADE | FF FINISH FLOOR |
| +tc 100.00 EXISTING TOP OF CURB | FFP FINISH PORCH FLOOR |
| ⊙ SANITARY SEWER MANHOLE | FP FINISH PAVING |
| ■ WATER METER | FG FINISH GRADE |
| — OVERHEAD POWER | FS FINISH SURFACE |
| — EXISTING SANITARY SEWER | ⊙ GAS METER |
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Existing Site Conditions
Newton Lane
1516 7th Street
A Part of Lot 9 University Survey
Tuscaloosa, Alabama



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Court House Plaza 600 Lurleen Wallace Boulevard South Suite 140
P. O. Box 020440 Tuscaloosa Alabama

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11/05/2020
FB/PG:
FILE
FILE NAME:
2009019.DWG
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03/16/2021

SCALE:
1" = 20'
DWN/CHK BY:
THS/AJC
REVISION:
04/02/2021
SHEET: 1 of 3

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D.B. 2007, PG. 4189

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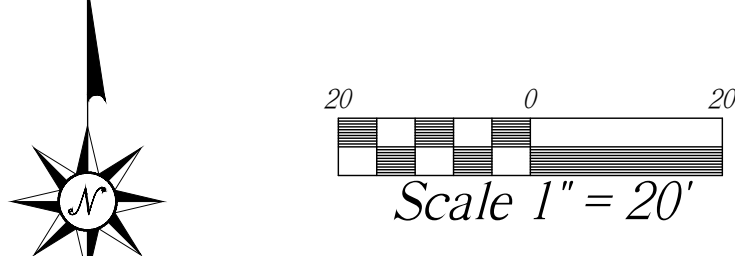
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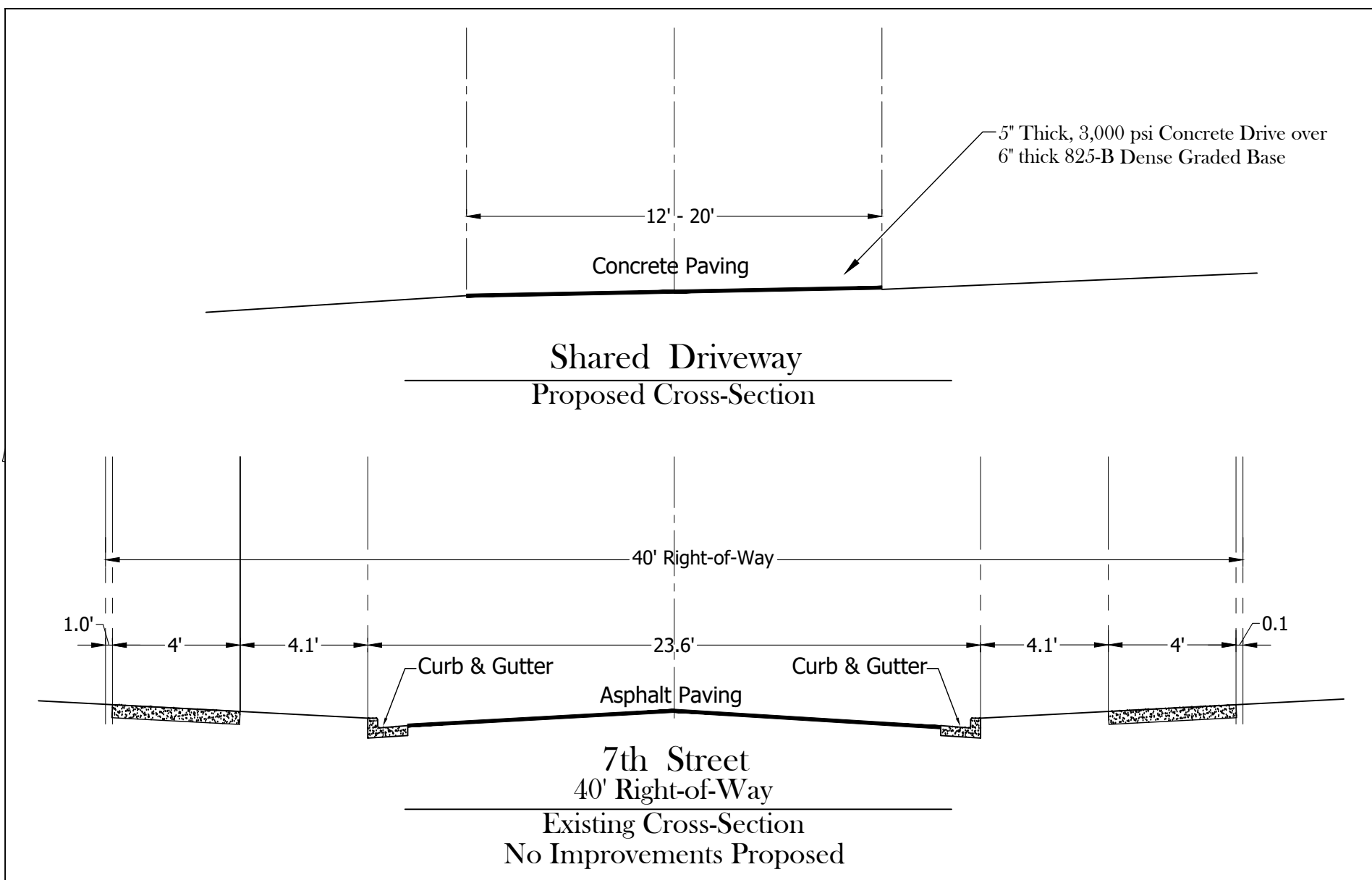
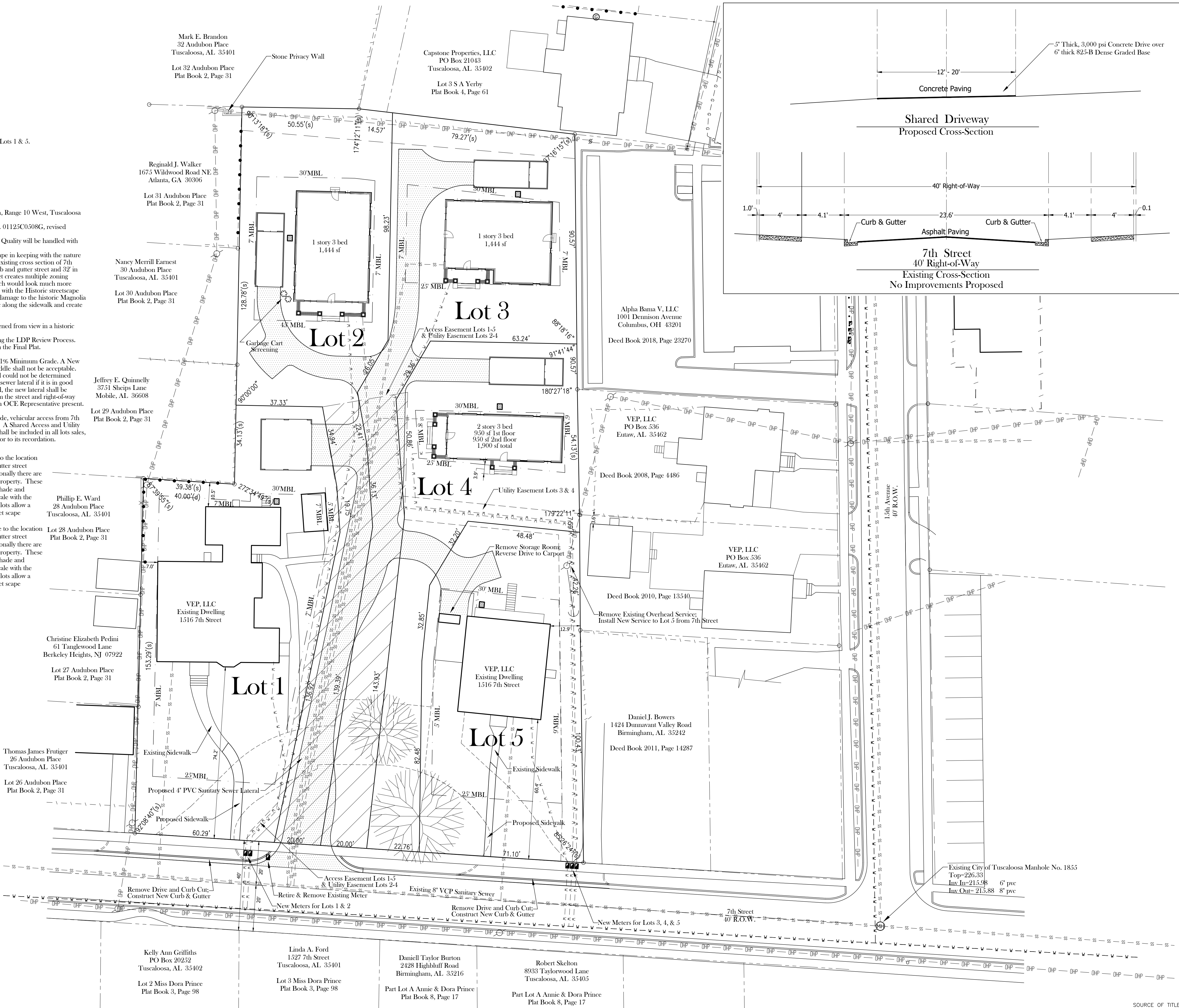


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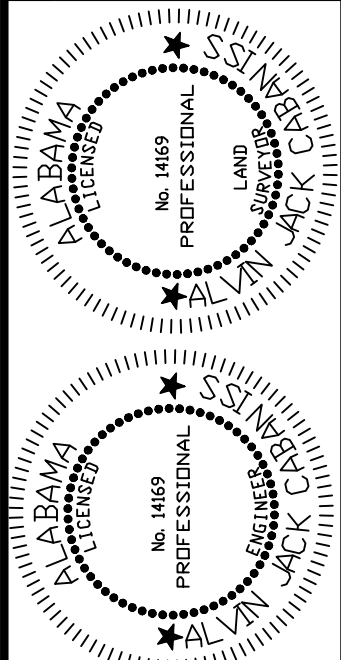
Preliminary Subdivision Plat

Newton Lane

1516 7th Street

A Part of Lot 9 University Survey

Tuscaloosa, Alabama



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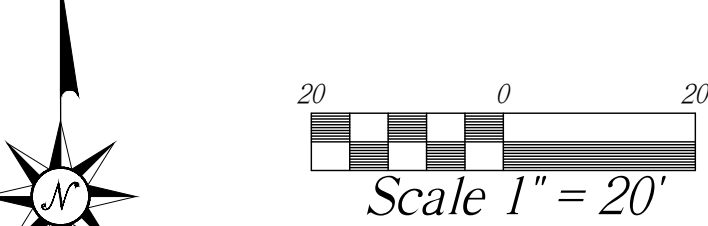
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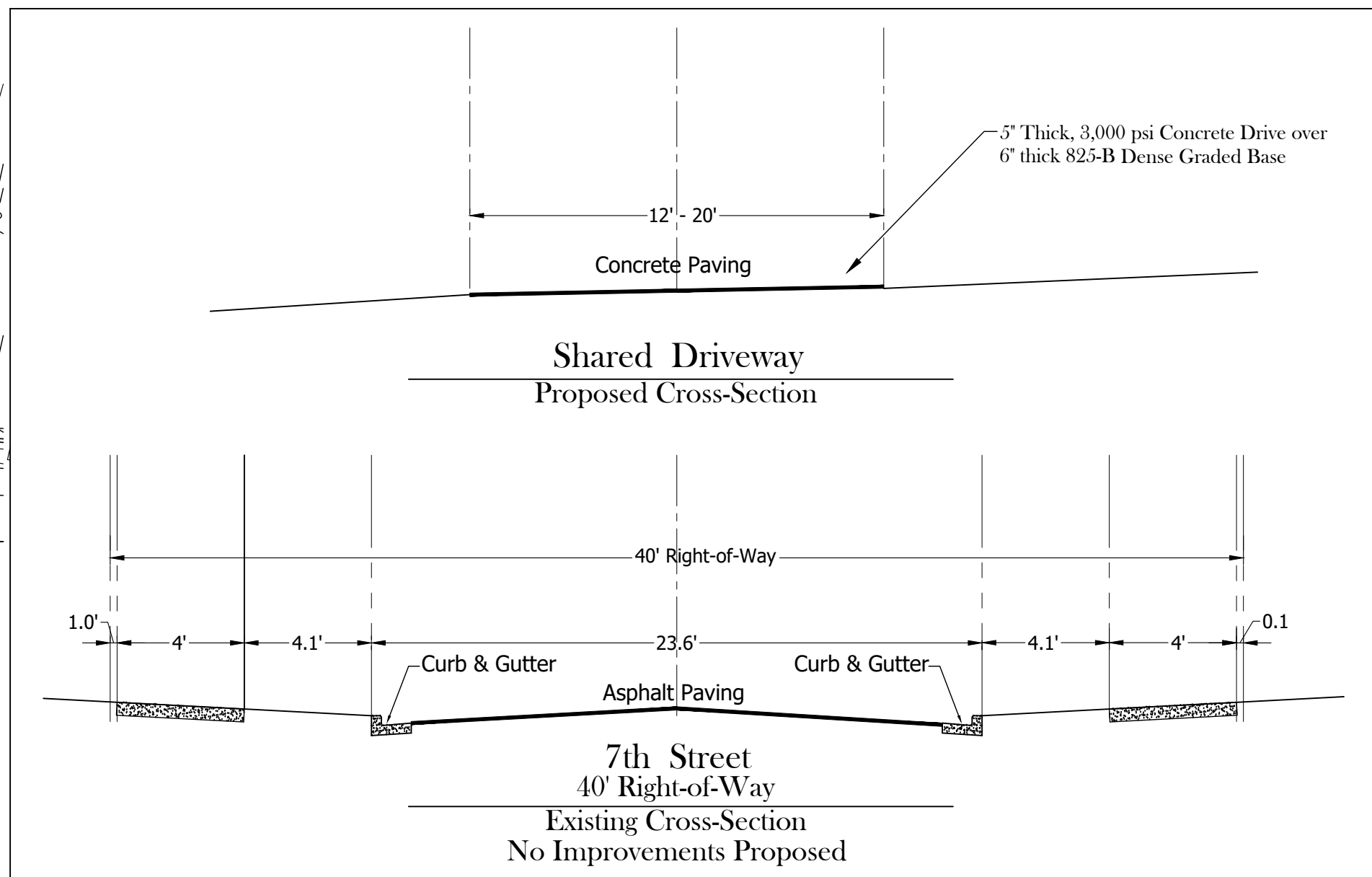
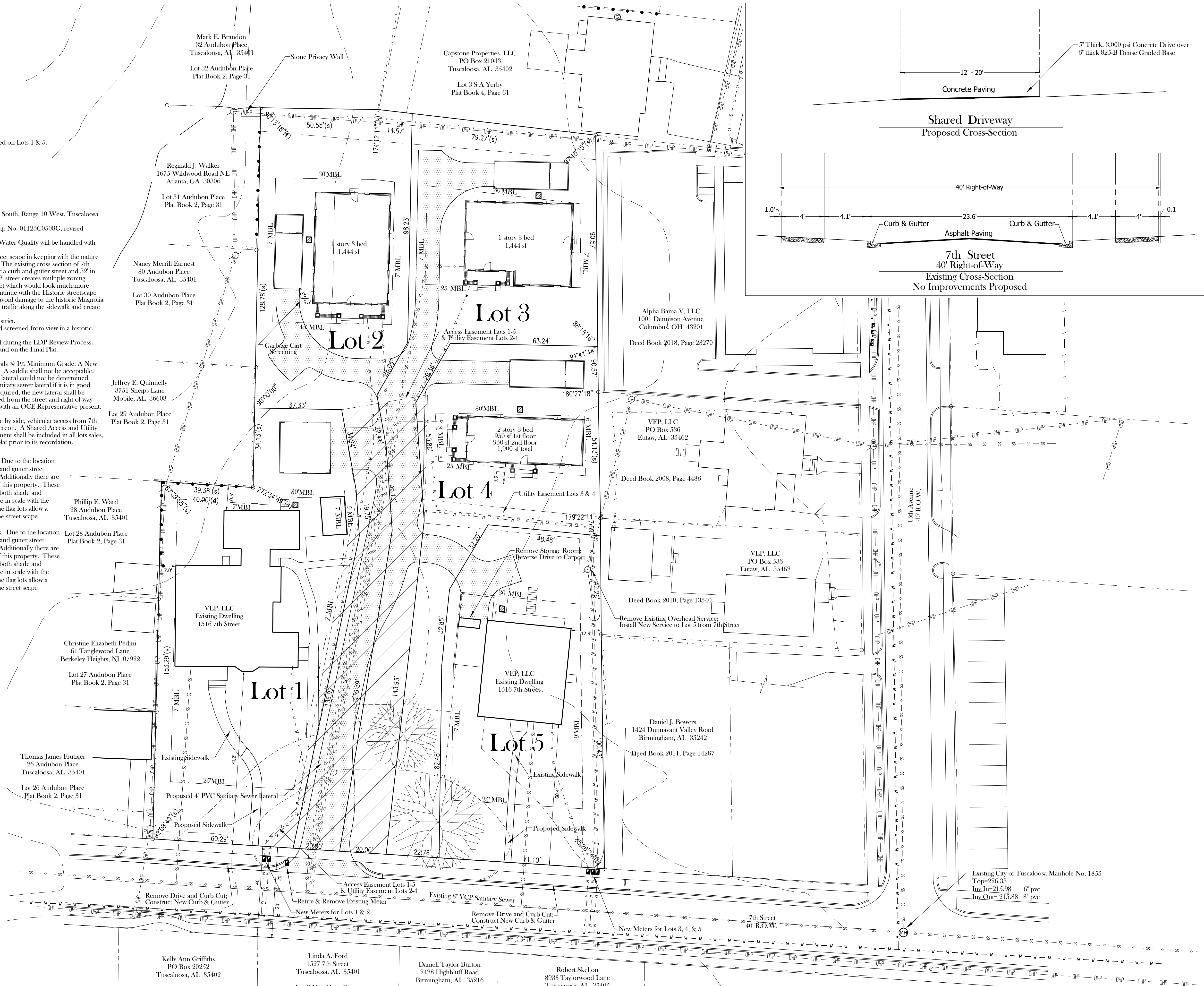
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| +tc100.00 EXISTING TOP OF CURB | FPF FINISH PORCH FLOOR |
| ⊕ SANITARY SEWER MANHOLE | FP FINISH PAVING |
| ■ WATER METER | FG FINISH GRADE |
| — OVERHEAD POWER | FS FINISH SURFACE |
| — EXISTING SANITARY SEWER | ⊙ GAS METER |
| — WATER VALVE | □ POWER BOX |
| — FIRE HYDRANT | ■ GARBAGE CART |
| ⊕ FLAG POLE | |
| — TELEPHONE LINE | |
| — UNDERGROUND POWER | |

NOTES:

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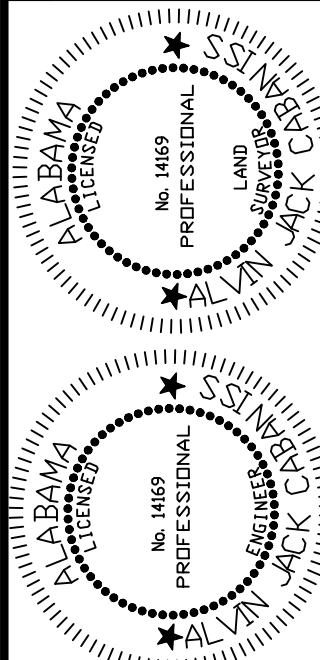
Preliminary Subdivision Plat

Newton Lane

1516 7th Street

A Part of Lot 9 University Survey

Tuscaloosa, Alabama



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Cabaniss Engineering Inc.
Professional Engineers and Land Surveyors
Court House Plaza 600 Lucien Wallace Boulevard South Suite 140
P. O. Box 020440 Tuscaloosa Alabama

JOB NO:
20-09-019
DATE OF SURVEY:
11/05/2020
FB/PG:
FILE
FILE NAME:
2009019.DWG
DATE:
03/06/2021

SCALE:
1" = 20'
DWN/CHK BY:
THS/AJC
REVISION:
04/02/2021
SHEET: 2 of 3

SOURCE OF TITLE:
D.B. 2007, PG. 419

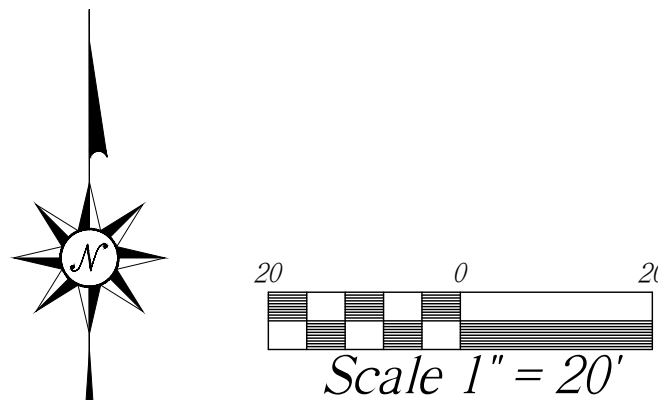
Owner:
VEP, LLC
PO Box 536
Eutaw, AL 35462

Developer:
CBA Properties, LLC
914 Queen City Avenue, Suite B
Tuscaloosa, AL 35401

Engineer/Land Surveyor:
Al Cabaniss, PE, PLS
Cabaniss Engineering, Inc.
PO Box 020440
Tuscaloosa, AL 35402

Property Address: 1516 7th Street
Zoning: R3-H

- Notes:
- Proposed 5 Lot Subdivision. There are two (2) Existing Dwellings Located on Lots 1 & 5.
 - Proposed Three (3) Single Family Dwellings.
 - Total Acreage to be Subdivided:
Total Acreage under control of Developer: 1.22 Acres +/-
Lot 1: 0.29 Acres +/-
Lot 2: 0.26 Acres +/-
Lot 3: 0.26 Acres +/-
Lot 4: 0.19 Acres +/-
Lot 5: 0.22 Acres +/-
 - Setbacks are as shown.
 - Property is located in the Northwest Quarter of Section 23, Township 21 South, Range 10 West, Tuscaloosa County, Alabama. This property includes unplatted land.
 - Property is not located in a Special Flood Hazard Area, FEMA Flood Map No. 01125C0508G, revised January 16, 2014.
 - Preliminary Plans anticipate that Storm Water Run-Off/Water Quantity/Water Quality will be handled with BELGARD Pavers over Crushed Stone or BioSwale's.
 - This Subdivision is laid out with flag lots to create a more harmonious street scape in keeping with the nature of this Historic neighborhood, and to save two (2) large Magnolia Trees. The existing cross section of 7th Street is 23.6' in width. The City Standard cross section is 31' in width for a curb-and gutter street and 32' in width for a valley gutter street. Platting a 30' Right-of-Way with a 31' or 32' street creates multiple zoning setback violations, and constructs a street significantly wider than 7th Street which would look much more commercial in nature than the Historic Neighborhood as it exists. To continue with the Historic streetscape theme, Lots 2, 3 and 4 must share a common drive as shown hereon, to avoid damage to the historic Magnolia Trees and to avoid a large curb cut which would interfere with pedestrian traffic along the sidewalk and create a confusing traffic pattern.
 - No more than 2 unrelated individuals may occupy a home in a historic district.
 - Garbage Carts must be stored behind the front facade of the structure and screened from view in a historic district.
 - Easements for the Shared Private Drive and All Utilities Shall Be Created during the LDP Review Process. Once all locations are resolved, Easements Shall Be Shown on the LDP and on the Final Plat.
 - All New Construction (Lots 2-4) is Contingent UPON HPC Approval.
 - The proposed laterals shall be 4" SDR 26 or SCHD 40 PVC Sewer Laterals @ 1% Minimum Grade. A New Lateral connection to the main shall be accomplished by cutting in a wye. A saddle shall not be acceptable. See Open Cut Trench Detail. The location of the existing sanitary sewer lateral could not be determined during the field run survey. The City's preference is to use the existing sanitary sewer lateral if it is in good condition as determined by an OCE Representative. If a new lateral is required, the new lateral shall be re-layed in the existing lateral trench. The existing lateral shall be removed from the street and right-of-way OR shall be reused. If existing lateral is to be reused, it shall be videoed with an OCE Representative present. Prior notification is required.
 - The flag lots are not wide enough to fit individual driveways plus radii side by side, vehicular access from 7th Street to Lots 1-5 shall be limited to the shared access easement shown hereon. A Shared Access and Utility Maintenance Agreement shall be prepared by the Developer. This document shall be included in all lots sales, and the language in said documents shall appear on the face of the final plat prior to its recordation.

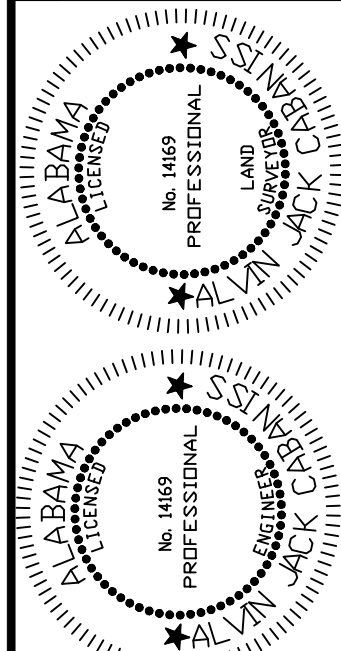


- LEGEND
- | | |
|--------------------------------|------------------------|
| ○ IRON PIN FOUND(SIZE) | (s) SURVEY DIMENSION |
| ● 1/2" IRON PIN SET | (p) PLAT DIMENSION |
| ▭ CONCRETE | (d) DEED DIMENSION |
| ○ UTILITY POLE | DB DEED BOOK |
| ○ UTILITY POLE W/ GUY | PB PLAT BOOK |
| ○ LIGHT POLE | FP PAGE |
| — BREAK LINE | ROW RIGHT-OF-WAY |
| ◇ CONCRETE MONUMENT FOUND | MBL MINIMUM BLDG LINE |
| — WOODEN FENCE | — CHAIN LINK FENCE |
| — OTHER FENCE | △ POINT NOT MONUMENTED |
| +eg100.00 EXISTING GRADE | FF FINISH FLOOR |
| +tc100.00 EXISTING TOP OF CURB | FPF FINISH PORCH FLOOR |
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| ⊕ FIRE HYDRANT | |
| ⊕ PHONE PEDESTAL | |
| ⊕ FLAG POLE | |
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SOURCE OF TITLE:
D.B. 2007, PG. 4189
SCALE:
1" = 20'
DWN/CHK BY:
THS/AJC
REVISION:
04/02/2021
SHEET: 3 of 3

Cabaniss Engineering Inc.

PROFESSIONAL ENGINEERS and LAND SURVEYORS

AI Cabaniss, PE, PLS

Newton Lane Variance Requests

1. The Developer requests a Variance of the Lot Configuration Standards. Due to the location of the existing structures, constructing a 50' Right-of-Way with a 31' curb and gutter street cannot be platted without creating significant Zoning setback violations. Additionally there are two (2) very large and very old Magnolia trees located in the front yard of this property. These trees are a part of the fabric of the street scape of 7th Street and provide both shade and significant buffering of the rear of this property. The shared drive is more in scale with the surrounding Historic homes, and provide safe and convenient access. The flag lots allow a shared a drive, and allow us to develop this property while maintaining the street scape aesthetic of the surrounding area.
2. The Developer requests a Variance from the Public Street Requirements. Due to the location of the existing structures, constructing a 50' Right-of-Way with a 31' curb and gutter street cannot be platted without creating significant Zoning setback violations. Additionally there are two (2) very large and very old Magnolia trees located in the front yard of this property. These trees are a part of the fabric of the street scape of 7th Street and provide both shade and significant buffering of the rear of this property. The shared drive is more in scale with the surrounding Historic homes, and provide safe and convenient access. The flag lots allow a shared a drive, and allow us to develop this property while maintaining the street scape aesthetic of the surrounding area.